

City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Agenda

Development Review Committee

Member Leigh Grosvenor
Member Gerald Chancellor
Member Chris Bowley
Member Tom Pauls
Member Steve Roland

Thursday, November 5, 2015

9:00 AM

2nd Floor Conference Room

1. CALL TO ORDER:

2. ROLL CALL:

3. APPROVAL OF MINUTES & AGENDA:

A. Minutes of July 30, 2015

4. PRESENTATIONS/AWARDS/REPORTS:

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

A. Gold Choice Final Plat, File No. FP 15-003

B. Gold Choice Final Site Plan, File No. FSP 15-004

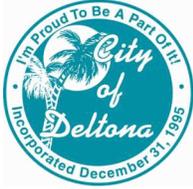
8. STAFF COMMENTS:

9. BOARD/COMMITTEE MEMBERS COMMENTS:

10. ADJOURNMENT:

NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.



Minutes
Development Review Committee

Thursday, July 30, 2015

9:00 AM

2nd Floor Conference Room

Special Meeting

1. CALL TO ORDER:

The meeting was called to order at 9:05 am.

2. ROLL CALL:

Also present: Kathrine Kyp, Planning and Development Services; Chris Cornett, Public Works; Jerry Mayes, Economic Development; Chip Burton, Top Shelf Car Wash and Chris Burton, Interplan, LLC.

Present: 5 - Member Leigh Grosvenor
Member Gerald Chancellor
Member Chris Bowley
Member Tom Pauls
Member Steve Roland

3. APPROVAL OF MINUTES & AGENDA:

Approval of Minutes - July 16, 2015

Motion by Member Chancellor, seconded by Member Roland, to approve the Minutes of July 16, 2015. The motion carried by a unanimous vote.

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

4. PRESENTATIONS/AWARDS/REPORTS:

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

Honest One Final Site Plan FSP15-002/Top Shelf Final Plat FP15-002

Mr. Bowley provided a brief background regarding the Top Shelf Final Plat application (FP15-002) explaining that the Construction Plans and the Honest One Final Site Plan were combined into one plan set per the applicant's request. This item is to approve the

Top Shelf Final Plat application (FP15-002).

Motion by Member Bowley, seconded by Member Roland, to approve Top Shelf Final Plat application FP15-002. The motion carried by a unanimous vote.

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

Mr. Bowley provided a brief timeline and opened discussion regarding the comments from staff on the Honest One Final Site Plan application, FSP15-002. The Applicant, Mr. Blurton, and staff discussed defining the open space preservation, impervious surface ratio calculations and the 25 foot landscape bufferyard. Mr. Blurton explained that the open space preservation increase was due to altering the parking space design to eliminate encroachment into Volusia County's easement.

Mr. Roland stated that, per the recent Florida Building Code 5th Edition, building permit applications will no longer be accepted until the related site plan has been approved; and the City can no longer accept concurrent building permit and site plan application submittals.

Discussion regarding the sign package submittal to include sign plan and profile and the Duke Energy ANSI standards ensued amongst staff and applicant.

Motion by Member Bowley, seconded by Member Chancellor, to approve with conditions, Honest One Final Site Plan FSP15-002. The motion carried by a unanimous vote.

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

8. STAFF COMMENTS:

Discussion regarding the applicant submitting updated 10 sets of plans for DRC signature ensued, to complete the project.

9. BOARD/COMMITTEE MEMBERS COMMENTS:

10. ADJOURNMENT:

The meeting adjourned at 9:27 am.

NOTE: If any person decides to appeal any decision made by the Deltona Board/Committee with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

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Memorandum

To: Development Review Committee

From: Tom Pauls, AICP

Date: October 26, 2015

Re: **Gold Choice Final Plat**
File No. FP 15-003

SUMMARY OF APPLICATION:

Applicant: Mr. David Butler
2306 Normandy LLC
P.O. Box 3120
Winter Park, Florida 32790

Request: Final Plat Application for a 114 bed assisted living facility.

A. SITE INFORMATION:

3 Tax Parcel Nos.: 18-18-00-00-0031, 0032, 0037

Property Acreage: ±9.28 Acres

Property Location: West Side of North Normandy Blvd. approximately 270 feet north of North Firwood Drive.

Legal Description:

BEING A PORTION OF THE SOUTH HALF (1/2) OF THE NORTH HALF (1/2) GOVERNMENT LOT 4, OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 31 EAST, VOLUSIA COUNTY, FLORIDA; LYING EASTERLY OF INTERSTATE HIGHWAY No. 4. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: AS A POINT OF REFERENCE BEING A POINT OF INTERSECTION OF THE NORTH LINE OF THE FLORIDA POWER AND LIGHT COMPANY RIGHT-OF-WAY EASEMENT WITH THE EAST RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY No. 4, AS SHOWN ON THE PLAT OF DELTONA LAKES UNIT 4, RECORDED IN PLAT BOOK 25, ON PAGE 124, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE RUN NORTH 89 DEGREES 43 MINUTES 16 SECONDS EAST, ALONG NORTH LINE OF SAID FLORIDA POWER AND LIGHT EASEMENT, A DISTANCE OF 510.70 FEET FOR THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH LINE NORTH 00 DEGREES 24 MINUTES 22 SECONDS EAST, A DISTANCE OF 661.52 FEET TO A POINT ON THE NORTH LINE OF SOUTH 1/2 OF THE NORTH 1/2, GOVERNMENT LOT 4, OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 31 EAST, VOLUSIA COUNTY, FLORIDA; THENCE SOUTH 89 DEGREES 40 MINUTES 15 SECONDS EAST ALONG THE SAID NORTH LINE, A DISTANCE OF 613.02 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY LINE OF NORTH NORMANDY BOULEVARD (A RIGHT-OF-WAY THAT VARIES AS NOW LAID OUT AND IN USE); THENCE DEPARTING SAID NORTH LINE SOUTH 01 DEGREES 32 MINUTES 14 SECONDS WEST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH NORMANDY BOULEVARD, A DISTANCE OF 330.57 FEET; THENCE SOUTH 89 DEGREES 41 MINUTES 46 SECONDS EAST, A DISTANCE OF 10.00 FEET; THENCE SOUTH 01 DEGREES 32 MINUTES 07 SECONDS WEST, A DISTANCE OF 246.64 FEET TO A 4" X 4" CONCRETE MONUMENT NO ID, SAID POINT BEING A POINT OF CURVE, CONCAVE EASTERLY AND TO THE LEFT, SAID CURVE HAVING A CENTRAL ANGLE OF 02 DEGREES 27 MINUTES 12 SECONDS, RADIUS OF 1959.86 FEET, A CHORD BEARING SOUTH 00 DEGREES 18 MINUTES 26 SECONDS WEST, A CHORD DISTANCE OF 83.91 FEET; THENCE ALONG THE ARC OF SAID CURVE A LENGTH OF 83.92 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF AFORESAID FLORIDA POWER AND LIGHT COMPANY RIGHT-OF-WAY EASEMENT; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE NORTH 89 DEGREES 43 MINUTES 16 SECONDS WEST ALONG THE SAID NORTHERLY LINE, A DISTANCE OF 611.77 TO THE POINT OF BEGINNING.

Figure 1: Location Map

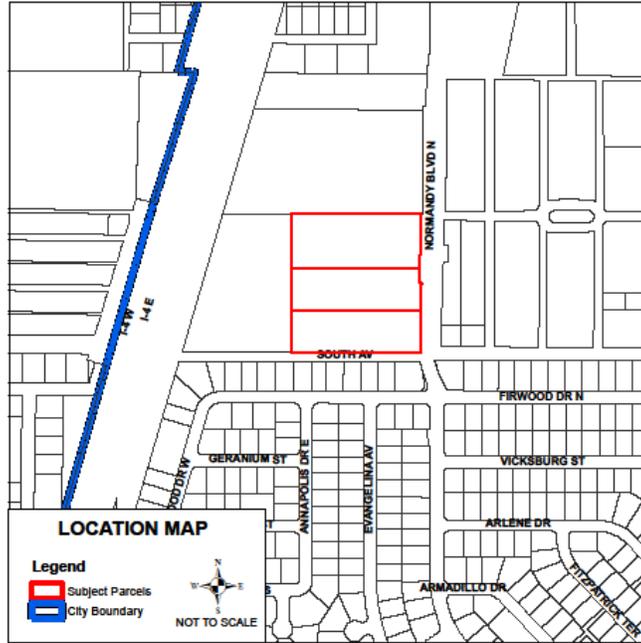


Figure 2: Aerial Photo



Figure 3: Future land Use Map

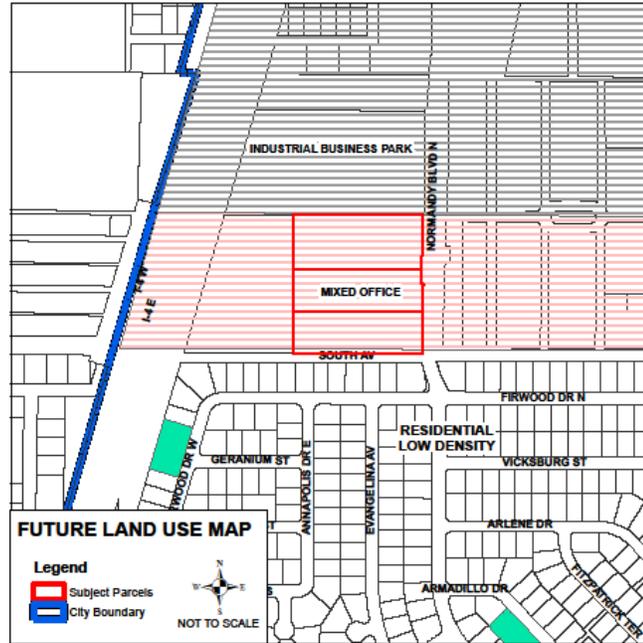
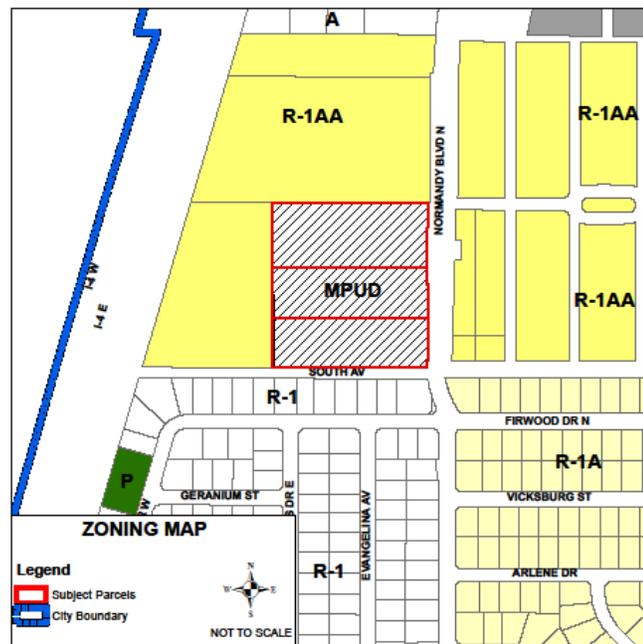


Figure 4: Zoning Map



Existing Zoning:

1. Subject Property: MPUD
2. Adjacent Properties:
 - North: R-1AA
 - South: R-1
 - East: R-1AA
 - West: R-1AA

B. Background: The city has received an application for Final Plat for a 114 bed assisted living facility. The plans have been reviewed by the City's Development Review Committee (DRC) team and, while a number of issues remain to be resolved and will need to have done so prior to issuance of a Final Plat development order, the major topics of concern have been satisfied.

C. Support Information

Public Facilities:

- a. Potable Water: to be supplied by Deltona North/Volusia County
- b. Sanitary Sewer: to be supplied by Deltona North/Volusia County
- c. Fire Protection: Deltona Fire Station 62
- d. Law Enforcement: Volusia County Sheriff's Office (VCSO)
- e. Electricity: Duke Energy

D. Matters for Consideration:

City of Deltona DRC review team has evaluated Final Plat Application FP 15-003 and related construction plan with respect to the Deltona Code of City Ordinances, Fire Code and other development related policies and provisions and lists the following matters to be addressed as required:

Final Plat Comments:

Peer Review

1. Add LOT 1 in the center of the lot.
2. Label SOUTH STREET along that 50 feet wide strip between Deltona Lakes Unit 4 and South property line (per Volusia County GIS) if in fact it does exist?
3. Reverse bearing from POC to BOB: N89°43'16"E

Construction Plan Comments:

Planning and Development Services

1. Sheet 3 -The property has now been rezoned to MPUD. Please note this as the existing zoning on Site and General Information Note #2.
2. Sheet 6 (and other related sheets) – all parking spaces not facing a landscaped area must be 19' in length. Those spaces that abut landscaped areas may be 17' long and must include a wheel stop.

Public Works

3. Sheet 6 - Applicant shall relocate the gate to the Deltona Water Facility to a location as directed by the City. Applicant shall install along the ingress/egress area signage prohibiting parking & standing, do not block driveway. Staff has been unable to find on this sheet the No Parking Signage as indicated by the applicant it was added.
4. Sheet 15 – sidewalks shall meet ADA requirements both off-site and on site. Code requires applicant to install a sidewalk along the frontage of Normandy Boulevard. Applicant is reminded that ADA requirements include ADA pads as applicable.
5. Provide a letter/email of “No Findings” from USFWC regarding the submitted 5-day Scrub-jay report. Acknowledged USFWC email indicating that survey is under review.
6. Prior to the commencement of construction applicant shall provide copies of all required permits from FWC for Gopher Tortoise relocation. A 100% survey no more than 90 days old will need to be submitted as well. Noted
7. Sheet 4 of 19 Demolition & SWPPP Plan(Tree Removal)- Revise the symbol used indicating the tree to be removed so that the DBH of the tree can be clearly seen. Noted
8. Sheet 4 of 19 Demolition & SWPPP Plan(Tree Removal)- The tree located within the temporary construction entrance is not legible please revise. Noted
9. Sheet 4 of 19 Demolition & SWPPP Plan(Tree Removal)- Provide a Tree Removal Chart indicating the quantity of each species, species, DBH, and total cross section square inch. See attached example chart.
10. Sheet 4 of 19 Demolition & SWPPP Plan(Tree Removal)- Trees located within lot 2 shall be protected during construction within lot 1. Trees located within lot 2 are not calculated within the minimum tree requirement for lot 1. Noted and discussed with you on the phone.
11. Sheet 17 of 19 Landscape Plan- Add a column to the Plant List that provided the total cssi of replacement per species of canopy trees only. Noted, but also include with tree removal/remaining/replacement for calculations purposes.
12. Provide the location/locations of the required 15% open space for lot 1, clearly shown on sheets 4 & 17 of 19. As discussed on the phone label on the plans where the 15% open space requirements will be located.
13. Per Chapter 98-29. A(9) 50% of the 15% open space requirement shall contain existing trees onsite. Noted.

Fire Safety

1. Previous Comment. A fire flow test shall be required and the fire flow test shall be conducted on the existing fire hydrants located, as close as possible to, the proposed project prior to final site plan approval. The results of the flow test shall be included on the submitted utility plan. The fire flow test shall be conducted by a Florida licensed contractor and all fees associated with the test shall be the responsibility of the owner/developer of each site approval. The fire flow tests shall demonstrate the required fire flow for the project is available. If the required fire flow is not attainable, the applicant shall indicate alternative fire protection on the site plan; such as an automatic fire sprinkler system, non-combustible construction, increased distances between structures and/or any alternative or equivalency acceptable to the fire marshal. The fire flow test shall be witnessed by a representative of the City's Fire Safety Division. All fire flow tests shall be scheduled through the Fire Safety Division inspection line (386) 878-8655.

The fire flow test was not witnessed by the Fire Safety Division. A fire flow test shall be scheduled with the Fire Safety Division.

2. Previous Comment. Ord. No. 96, Sec. 96-45 (2) (a-f), Fire Protection Systems
(2) Fire hydrants shall be installed according to the following requirements, with distances measured along street rights-of-way or private access roads.
 - e. Uniform marking of fire hydrants. Barrels of fire hydrants shall be painted chrome yellow. (Rustoleum John Deere Yellow or Safety Yellow)
Note: Private fire hydrants shall be painted red to distinguish them from public hydrants.

The proposed fire hydrants to be installed are considered private fire hydrants and shall be painted red. See fire hydrant detail on sheet 13 which states "yellow".

3. Relocate the fire hydrant located on the southwest corner of the building into the middle island away from the building, as discussed, for fire department accessibility.

The angle of approach and departure for any means of fire department access shall not exceed 1 ft drop in 20 ft or the design limitations of the fire apparatus of the fire department and shall be subject to the AHJ (Maximum slope of 8 degrees). (NFPA 1, *Fire Code*, 2012, Edition, Section 18.2.3.4.6.2).

This code requirement is referencing "fire department access" and is not referencing "All sidewalk and access points into the building".

4. Your response #18 states "The proposed pavement section will provide support of a 26-ton vehicle. See letter from UES". A letter was not provided with the submittal and not necessary per the detail provided on the plans.

Volusia County Water and Utility Resources

The City has coordinated with Volusia County Utilities regarding the latest comments. Prior to issuance of a development order, the City will need to receive written notification from the County that the comments they cited have been properly addressed.

CONCLUSION/STAFF RECOMMENDATION:

Staff recommends that the DRC conditionally approve the final plat application number FP 15-003 upon satisfying the comments listed in Section D above.



Memorandum

To: Development Review Committee

From: Tom Pauls, AICP

Date: October 26, 2015

Re: **Gold Choice Final Site Plan**
(Note: The Final Site Plan and Related Plat's Construction Plan are combined as one.)
File No. FSP 15-004

I. SUMMARY OF APPLICATION:

Applicant: Mr. David Butler
2306 Normandy LLC
P.O. Box 3120
Winter Park, Florida 32790

Request: Final Site Plan Application for a 114 bed assisted living facility.

A. SITE INFORMATION:

Tax Parcel No.: 18-18-00-00-0031, 0032, 0037

Property Acreage: ±9.28 Acres

Property Location: West Side of North Normandy Blvd. approximately 270 feet north of North Firwood Drive.

Legal Description:

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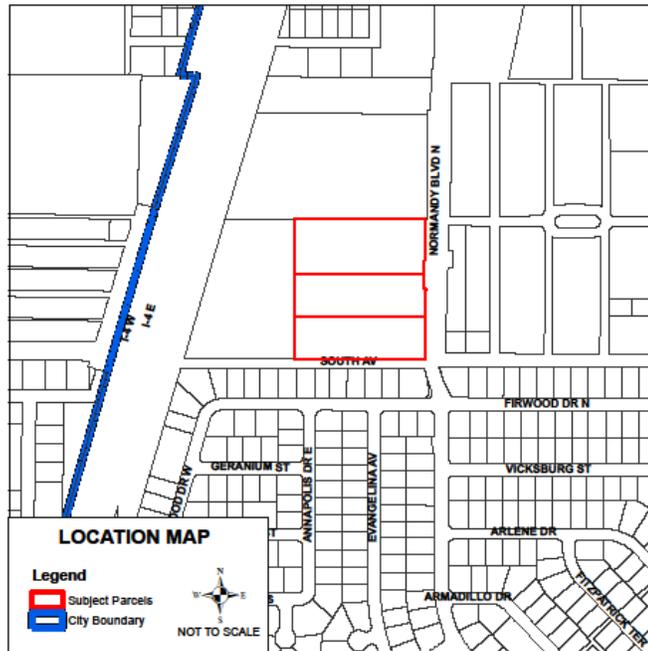


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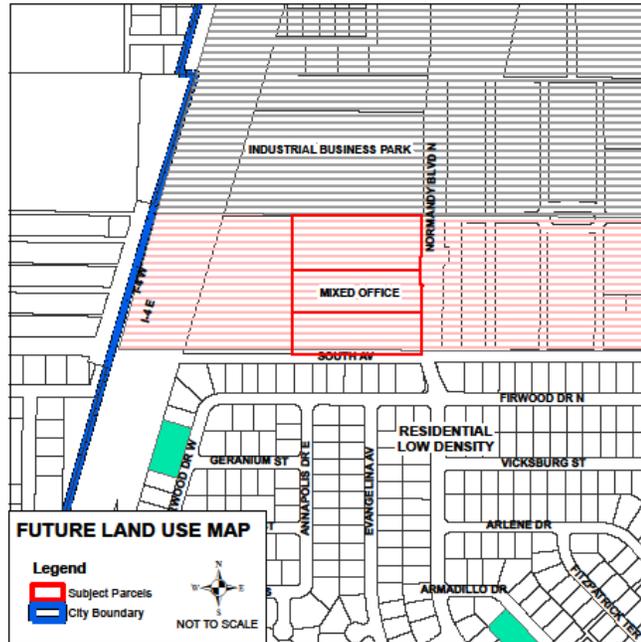
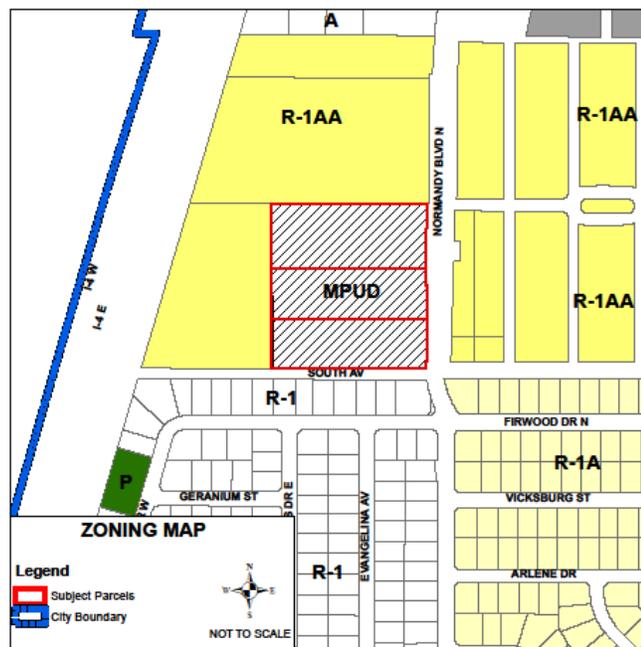


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B. Background: The city has received an application for Final Site Plan for a 114 bed assisted living facility. The plans have been reviewed by the City's Development Review Committee (DRC) team and, while there remain a number of issues yet to be resolved and will need to be resolved prior to issuance of a site plan development order, major topics of concern have been satisfied.

C. Support Information

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- e. Electricity: Duke Energy

D. Matters for Consideration:

City of Deltona DRC review team has evaluated the Final Site Plan application with respect to the Deltona Code of City Ordinances, Fire Code and other development related policies and provisions and cites the following matters to be addressed as required:

Site Plan Comments:

Planning and Development Services

1. Sheet 3 -The property has now been rezoned to MPUD. Please note this as the existing zoning on Site and General Information Note #2.
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Volusia County Water and Utility Resources

The City has coordinated with Volusia County Utilities regarding the latest comments. Prior to issuance of a development order, the City will need to receive written notification from the County that the comments they cited have been properly addressed.

CONCLUSION/STAFF RECOMMENDATION:

Staff recommends the DRC conditionally approve the final site plan application number FSP 15-004 upon satisfying the requirements as listed in Section D above.